

GENERAL NOTES:

- 1. ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY BUILDER.
- 2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- 3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- 4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO COMMENCEMENT OF ANY BUILDING WORK.
- 5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST BE TAKE PREFERENCE TO THIS DRAWING.
- 6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3-1990.
- 7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

NOTE: THESE DRAWINGS ARE TO READ IN CONJUNCTION WITH TENDER DOCUMENTS AND SCHEDULE OF FINISHES. THE TENDER DOCUMENTS ARE TO TAKE PRECEDENCE OVER THE DRAWINGS . ANY DISCREPANCY IS TO BE REFERRED TO BRAMWELL HOMES.

Based on the Requirement of 1.2m Soffit at ORG
(Overflow Relief Gully ie. 1.35m from Invert to Ground Level)
The Minimum level of the Overflow Trap is 440.34
Therefore: MINIMUM Pad Level is 441.90
(Note that this information is based survey & connection point as shown and does not include internal design grades which should be completed to current Plumbing Codes)

Lot 704
DP 1287918
Vacant

Summary of BASIX Commitments	
Landscape (By owner)	Commitment
Lawn (m2)	600
Indigenous (m2)	119.83
Total (m2)	719.83
Water	
Flow L/min - showerheads	4.5 - 6 L/min
Rating - toilet cisterns	4 *
Rating - kitchen tap fittings	4 *
Rating - bathroom tap fittings	4 *
Rainwater tank (litres)	5,000
Roof area to tank (m2)	130
Connect tank to outdoor tap?	Yes
Connect tank to all toilets?	Yes
Thermal Performance - Refer to nathERS Certificate	
Energy	
Hot water system	Gas instant - 6*
Active cooling - living areas	1 phase ac - non ducted - 6* cold zone
Active cooling - bedroom areas	No cooling system
Active heating - living areas	1 phase ac - non ducted - 6* cold zone
Active heating - bedroom areas	No heating system
Bathroom ventilation	Manual switch ducted
Kitchen ventilation	Manual switch ducted
Laundry ventilation	Natural ventilation
Low energy lighting	Refer to basix cert
Cooktop and oven	Gas c/t elec oven
Clothesline (outdoor)	Yes
Clothesline (indoor or sheltered)	No

NOTES:

- All building work shall be carried out in accordance with the NCC 2022,
- Provide Termite protection in accordance with AS3660.1,
- Mechanical ventilation shall be installed in accordance with AS1680.0
- Provide lift-off hinges to all toilet doors with an internal length of 1900mm or less.
- Plumber to Provide Location & Design Plans for On-Site Rain Water Tanks to Building to be submitted at Time of Approvals.
- All components of a Water System Intended for rainwater tank application must comply with Plumbing and Drainage Act 2002 (Act) & public health requirements.
- A Rainwater Tank must:
- incorporate acceptable devices to ensure a continuous supply of water to all internal fittings.
- incorporate appropriate back-flow prevention devices to prevent tank water from entering the reticulated water supply network in accordance with AS/NZS 3500 Plumbing & Drainage.
- incorporate acceptable screens or methods of preventing mosquitoes and vermin entering the tank.
- a screened downpipe rainhead, having screen mesh 4-6mm and Designed to prevent leaves from entering each downpipe.
- The placement of a rainwater tank and its overflows must be Designed to ensure Stormwater does not:
- pond under building floors.
- flood around foundations and footings of buildings.
- cause nuisance to neighbours.
- Disperse surface water away from Building so no ponding of water occurs beside Building.
- Disperse all water away without nuisance to Neighbours.
- Plumber to provide Stormwater and Sewer Plan to Council requirements to be submitted at Time of Approval.
- Plumber to Provide Location & Design Plans for On-Site Rain Water Tanks to Building to be submitted at Time of Approvals. To be designed to all Australian Standards & NCC.
- Plumber to verify Council Sewer Jump Up location before starting any work.
- 100mm Diameter UPVC Stormwater Pipes out into Channel and Kerbing of road or to Council requirements.
- Gas Hot Water Supply System to be Designed & Installed in accordance with Australian Standards & NCC. To be installed by an approved and Qualified Person.
- Builder to verify any Object on Site and surrounding Land that will affect the Building Location on Site before any Works begin. Builder to contact Designer before Plans are to be submitted to Council.
- Driveway is to be constructed in accordance with AS2890.1.

SURVEY LEGEND

- K.I.P. Kerb Inlet Pit
- / - / - Fence
- 50.29m Boundary & Dimension
- 384.0 - Contour & Height (0.2m Interval)
- 472.685 Spot Level
- T Underground Telstra Cables
- W100 Watermains & Size
- WS Waterservices
- E Underground Electrical Cables
- s Sewer Pipes and Manholes
- s W Stormwater Pipe & Size
- G Gasmain

NOTE:

- Mechanical ventilation to be discharged (ducted) to eaves.
- Wet areas to be provided with fall between 1:50 to 1:80 in accordance with HP 10.2.12 & NCC H4D2.
- Compliance with Part 10.8 of the ABCB Housing Provisions satisfies Performance Requirement H4P7 for condensation management.
- External wall construction in accordance with 10.8.1.
- Exhaust Systems in accordance with 10.8.2.
- Ventilation of roof spaces in accordance with 10.8.3.
- Thermal insulation installed in accordance with AS/NZS4859.1 & NCC NSW H6P1.
- Building sealing in accordance NCC H6P2.
- Insulation of services in accordance with NCC H6P3.
- All Constuction to be in accordance with NCC 2022 Volume 2.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC 2022 VOLUME 2, AS 1684-2021 & AS 1170.2-2021. DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTORS PRIOR TO SET OUT AND CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SCALE (DO NOT SCALE OFF PLAN). ALL TRADES TO CONFORM TO THE RELATIVE STANDARDS PERTAINING TO THEIR WORKS.
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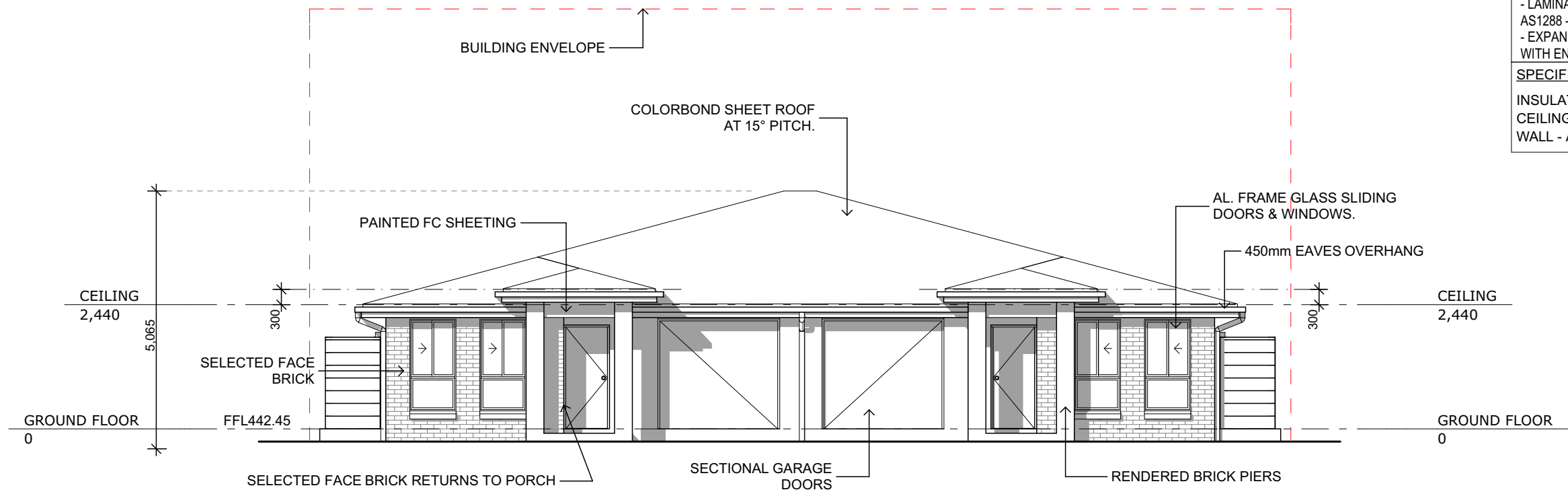
PROPOSED RESIDENTIAL DUAL
OCCUPANCY DWELLINGS
BANKSIA 268
LOT 703 FAIRMARTIN LANE
MOORE CREEK, NSW

DATE: 14/10/2024
DRAWN: NG

JOB NUMBER :
202410141

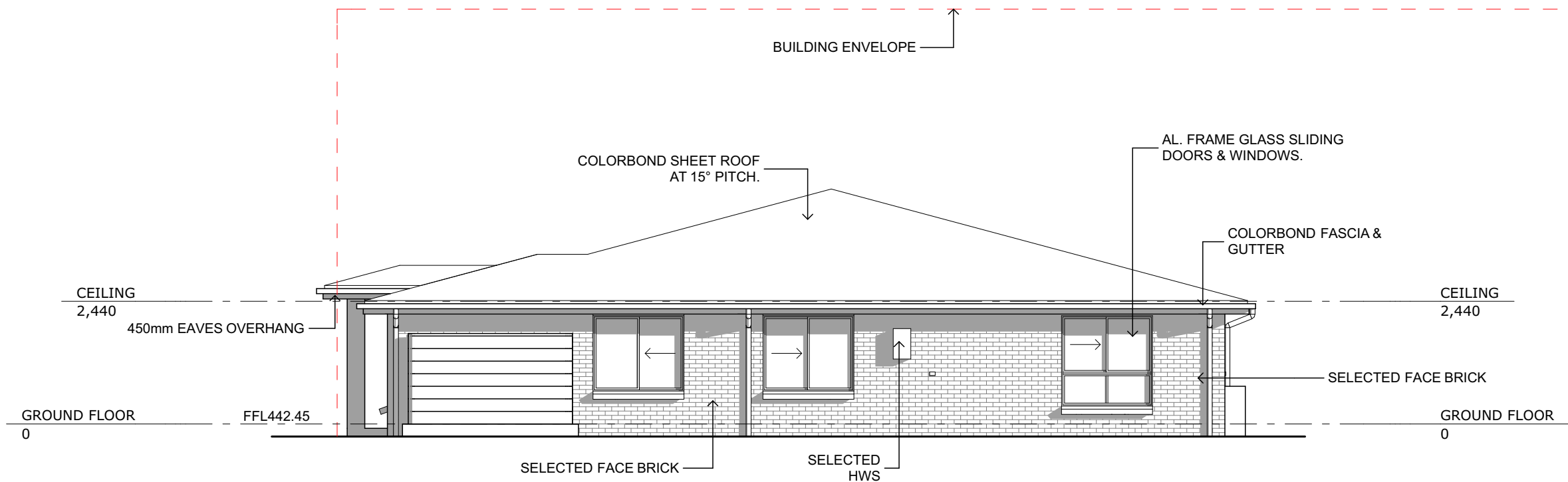
SITE PLAN
ISSUE A
1

SCALE @ A3 - 1:200



ELEVATION A

1:100



ELEVATION B

1:100

NOTES:
- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUF.'S SPECIFICATIONS & TRUSSES TO AS 4440-2004
- GLAZING TO WINDOWS/DOORS TO AS1288 - 2021
- LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 2021
- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

SPECIFIC NOTES:
INSULATION REQUIREMENTS:
CEILING - AS PER BASIX CERTIFICATE
WALL - AS PER BASIX CERTIFICATE

NOTE:
- Mechanical ventilation to be discharged (ducted) to eaves.
- Wet areas to be provided with fall between 1:50 to 1:80 in accordance with HP 10.2.12 & NCC H4D2.
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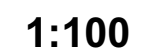
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ELEVATIONS
ISSUE A
3

SCALE @ A3 - AS SHOWN

- SPECIFIC NOTES:
- INSULATION REQUIREMENTS:
CEILING - AS PER BASIX CERTIFICATE
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ISSUE A

4

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- All Construction to be in accordance with NCC 2022 Volume 2.

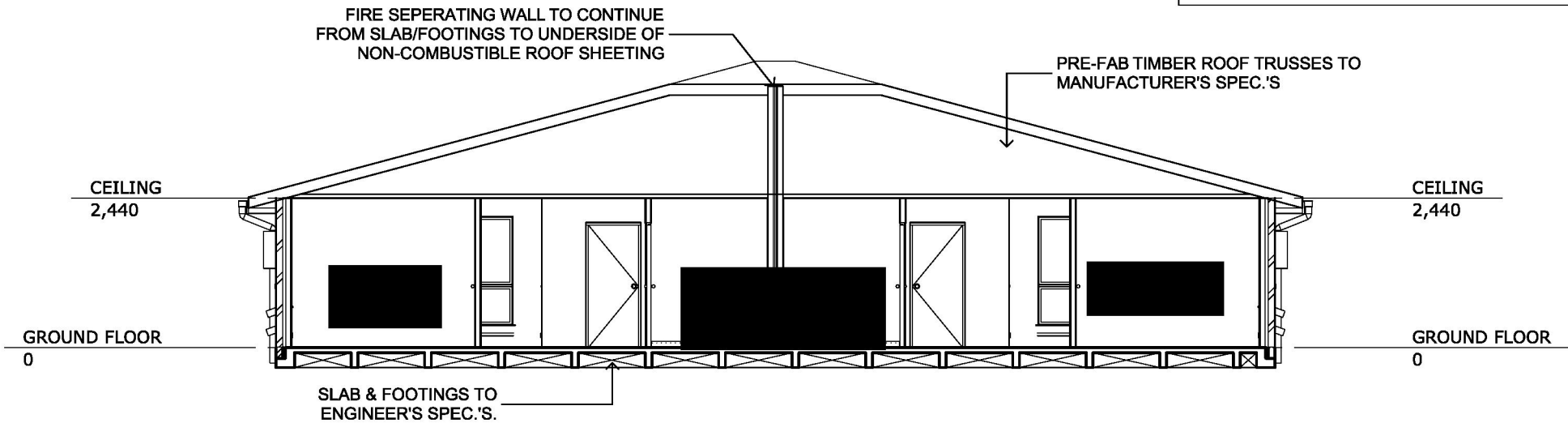
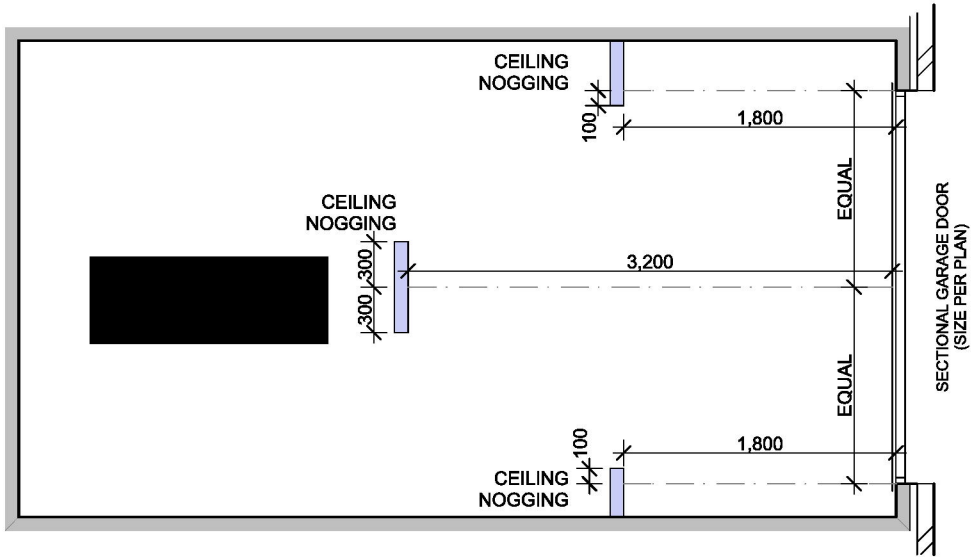
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC 2002
VOLUME 2, AS 1684-2001 & AS1170-2:2001. DIMENSIONS ARE TO BE
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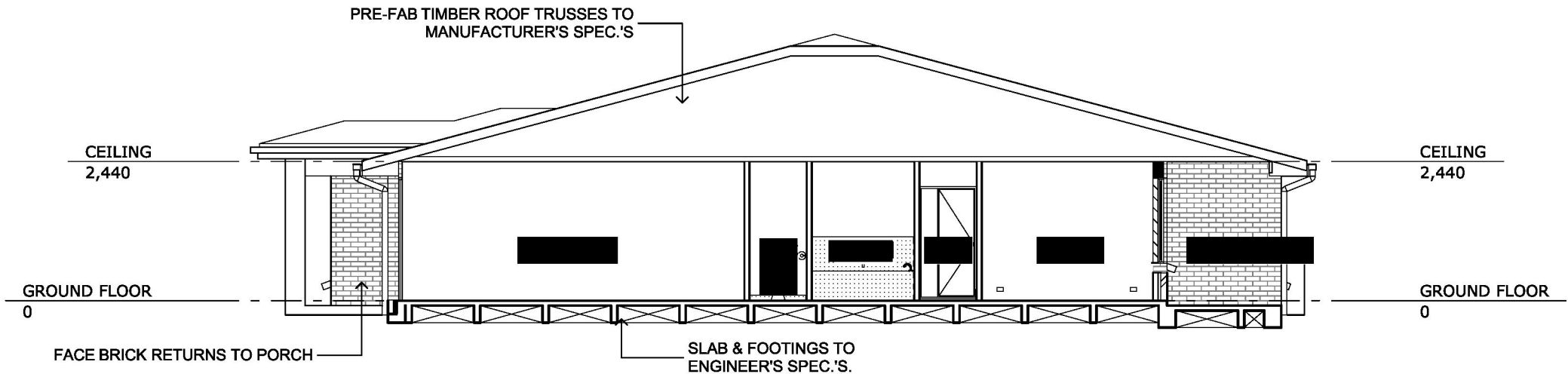
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CEILING - AS PER BASIX CERTIFICATE
WALL - AS PER BASIX CERTIFICATE



SECTION X-X

1:100



SECTION Y-Y

1:100

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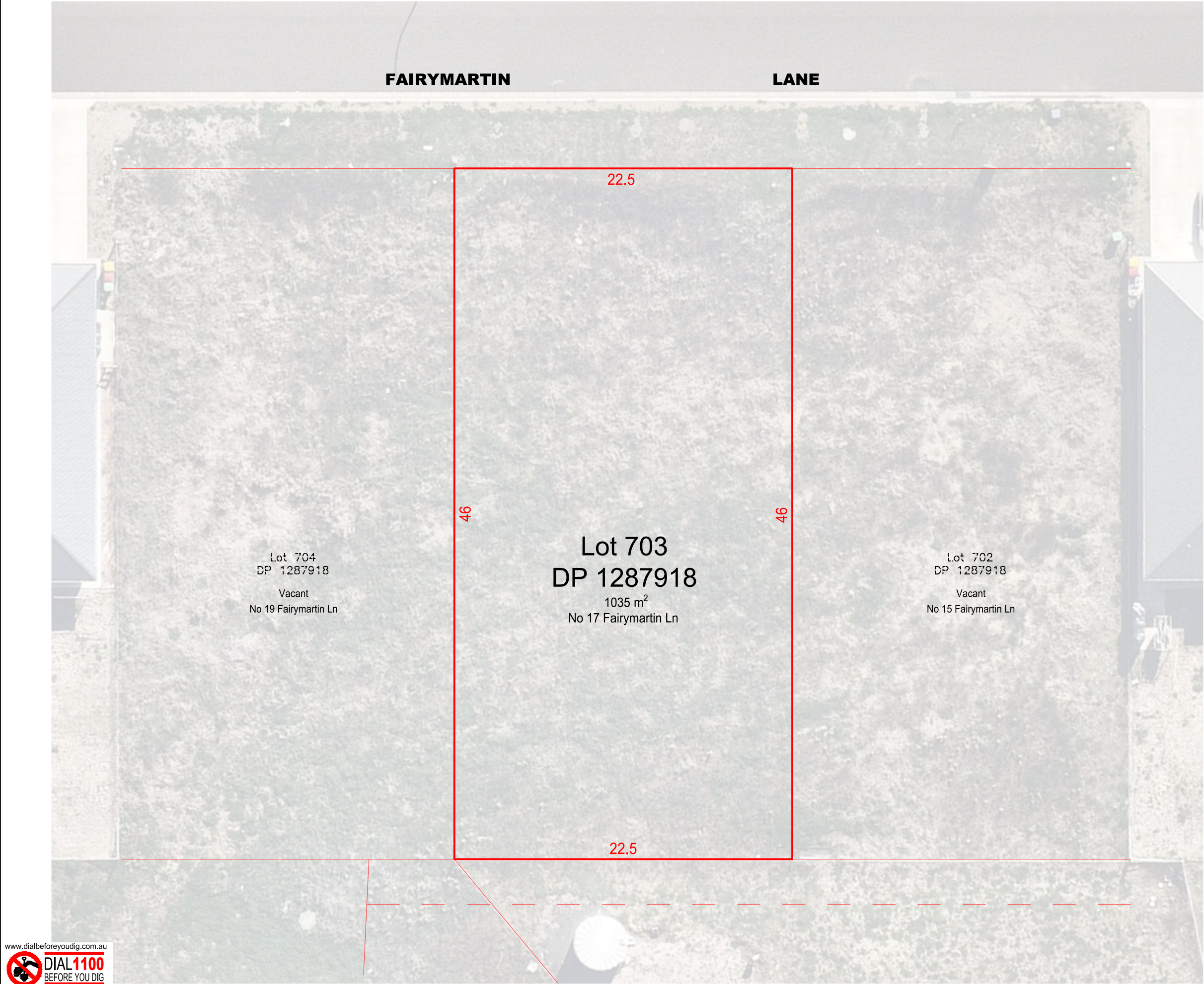
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SECTIONS
ISSUE A
5

SCALE @ A3 - AS SHOWN



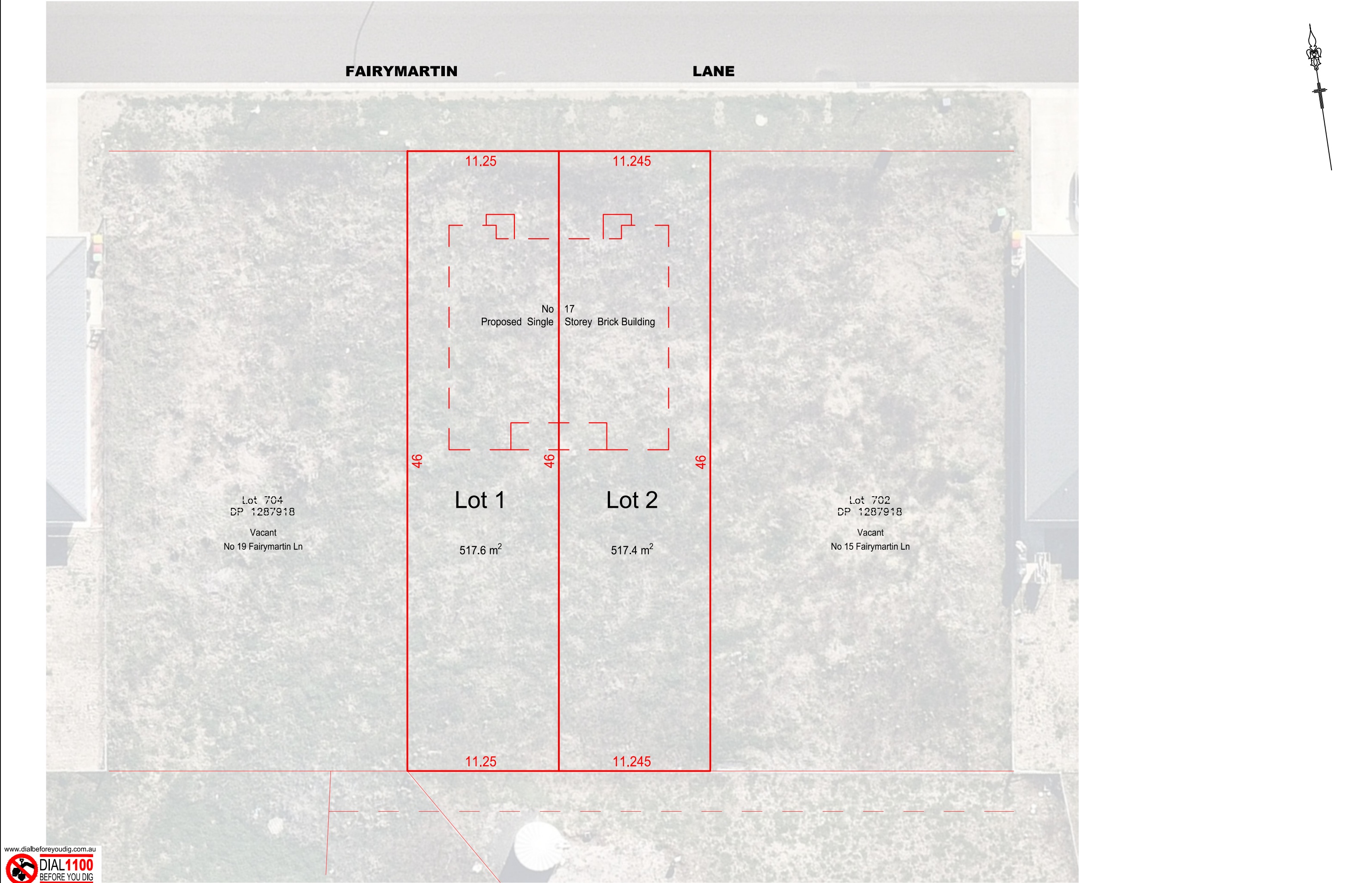
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2. These plans have been prepared for an A3 plot at the reduction ratio shown. The accuracy of any enlargement or other reproduction may be less than that of the original
3. Any and all proposed levels shown on this drawing are indicative ONLY. Preliminary calculations have not checked for potential conflicts with other services
4. Actual grades, levels, locations etc may vary during final design stages.
5. This plan has been produced as part of the client's development application proposal and as a result the actual location of buildings, roads etc may vary
6. The boundaries shown and adopted for the Servicing Strategy have not been confirmed by field survey
7. Lot sizes, easements and all dimensions shown on this plan are indicative only and are subject to Development Application (DA) approval & Civil Design
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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)		Rev.	DESCRIPTION	APPROVED	DATE	Model: 21098V01	Original A3 Drawing Scale Bar:		<div><div>BATH STEWART ASSOCIATES Pty Ltd</div><div>DEVELOPMENT CONSULTANTS</div><div>SURVEYORS — ENGINEERS — PLANNERS — PROJECT MANAGERS</div><div>239 Marius Street TAMWORTH NSW 2340</div><div>Telephone (02) 6766 5966 A.C.N. 659 162 062</div><div>office@bathstewart.com.au</div><div>This document / plan / drawing / sketch is the copyright property of Bath Stewart Associates Pty Ltd and shall not be copied or reproduced in part or whole by any media without written approval, nor shall it be used except for the Development and Site Specified</div></div>	BRAMWELL HOMES PTY LTD		Ref. No:
CENTRE LINE	=====					DL: N/A	A3 Scale 1:250			17 FAIRMARTIN LANE MOORE CREEK		24434DA
KERB AND GUTTER	=====					Survey: N/A	2.5 0.0 2.5 5.0			LOT 703 DP 1287918		Sheet No: 01 of 02
TOP OF BATTER	=====					Drawn: M.Murray	Drawing: 24434DA Rev A			EXISTING LOT CONFIGURATION		Revision: A
SURFACE DRAINAGE	=====					Designed: Not Applicable	Datum Description:					
EDGE OF BITUMEN SEAL	=====					Checked: J.Herdegen	N/A					
FENCELINE	=====											
SEWERMAIN	=====											
WATERMAIN (& SIZE)	=====											
STORMWATER DRAINAGE	=====											
OVERHEAD POWER	=====											
UNDERGROUND ELECTRICAL	=====											
TREE SHRUB SIGN	=====											
SEWER MANHOLE, INSPECTION PIT	=====											
DOWNPIPE & ROOFWATER OUTLET	=====											
POWER POLE	=====											
STREETLIGHT GUIDE POST	=====											
WATER (HYDRANT, VALVE, METER)	=====											
TELSTRA PIT AND CABLES	=====											
		A	Issued for Client's information	J.Herdegen	31.01.25							



LEGEND (EXISTING — LIGHT PROPOSED — DARKER)		Rev.	DESCRIPTION	APPROVED	DATE	Model: 21098V01	Original A3 Drawing Scale Bar:		BATH STEWART ASSOCIATES Pty Ltd DEVELOPMENT CONSULTANTS SURVEYORS — ENGINEERS — PLANNERS — PROJECT MANAGERS 239 Marius Street TAMWORTH NSW 2340 Telephone (02) 6766 5966 A.C.N. 659 162 062  office@bathstewart.com.au	BRAMWELL HOMES PTY LTD 17 FAIRMARTIN LANE MOORE CREEK		Ref. No:
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KERB AND GUTTER	---					Survey: N/A	2.5 0.0 2.5 5.0				Revision : A	
TOP OF BATTER	---					Drawn: M.Murray	Drawing: 24434DA Rev A					
SURFACE DRAINAGE	---					Designed: Not Applicable	Datum Description: N/A		This document / plan / drawing / sketch is the copyright property of Bath Stewart Associates Pty Ltd and shall not be copied or reproduced in part or whole, in any media without written approval, nor shall it be used except for the Development and Site Specified.			
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		A	Issued for Client's information	J.Herdegen	31.01.25	Checked: J.Herdegen						